

UTT/20/3416/LB (SAFFRON WALDEN)

(UDC Application)

PROPOSAL: Part demolition of existing extensions to sheltered scheme from listed building, including alterations to access, listed wall, existing parking and driveways. Addition of new boundary wall, railings, fire escape stairs, landscaping works and temporary repair works to listed building associated with the demolition of rear extension.

LOCATION: Walden Place, Freshwell Street, Saffron Walden, Essex CB10 1DQ

APPLICANT: Uttlesford District Council

AGENT: Design Partnership (Ely) Ltd

EXPIRY DATE: 10.06.2021 eot

CASE OFFICER: Maria Shoesmith

1. NOTATION

1.1 Listed Buildings / Area 3 of Saffron Walden conservation area / trees protected by Conservation area and proximity to listed buildings / Section of Protected open space – Walden Place / Archaeology important area

2. DESCRIPTION OF SITE

2.1 The site lies between Freshwell Street to the west and Myddylton Place to the north east, in the western part of the historic core of Saffron Walden. Walden House is a mid 18th century building with a 1980s extension, currently in use as residential sheltered accommodation. See **Fig: 1**.



Fig: 1 - Site location plan and aerial photograph of site.

- 2.2 The buildings concerned are set in extensive landscaped grounds, within a protected open space area and located in Zone 3 of the Saffron Walden Conservation area.



Fig: 2 - Protected Open Space area (Hatched)



Fig: 3 – Saffron Walden Conservation Area

- 2.3 The group of buildings within Walden Place also includes a listed building; Walden House, which is Grade II, and is described as:

Walden Place

4.2.1 TL5338 MYDDYLTON PLACE 669-1/1/313 (West side) 28/11/51 Walden Place GV II

Large house, now divided up for retirement apartments and sheltered accommodation. Mid C18, with some C19 refenestration, C20 division. Red brick, some stucco dressings, clay tiled roof, plan rectangular but with C20

wing projecting on NW corner. 3 storeys and cellars. Front, S elevation: 5 bays, parapet with recessed panels and stucco cornice. Central doorway approached by steps, Doric style, with pediment, triglyph frieze and fluted flat pilasters. Within, rusticated stucco door-case. Door with 8 panels, all now glazed. All windows have rubbed brick voussoirs that are shaped to central keystone form. All are sashes with glazing bars, ground floor, 3x5 panes, first floor 3x4, second floor 3x2. Central windows have moulded stucco architraves, first floor `eared', second floor `shouldered' plus keystone, both have consoles below sills. Roof concealed by parapet but comprises 3 hipped runs parallel to frontage. Stacks at E and W ends. Rear N elevation: 5 window range, somewhat irregular. External stack to W. Windows all sashes with glazing bars, rubbed brick voussoirs, ground floor two 3x4 panes, first floor five 3x4 panes, second floor three 3x2 panes. C20 addition, ground floor, W end. W side elevation: 4 storeys (includes side of cellars) 4 bays, ground and first floor windows, sashes in house style 3x4 panes, second floor 3x2 panes. 2 windows on first floor blind with glazing painted in. Cellar, 2 windows blocked one now with louvres, C20 louvered door. E side elevation: 3 storeys, 3 window range, windows somewhat irregular in house style. Ground floor, two 2x4 panes, one 3x4. First floor, round headed stair window 3x4 panes plus radial glazing, window either side in `Venetian' style 2x4 panes, second floor, two 2x2 panes, one 3x2 panes. Roof system seen with stack to S. INTERIOR: open string original dogleg stair, 3 turned balusters per tread, turned newel posts, wreathed handrail. Original C18 dogleg back stair, closed string, turned balusters. Round arched entry to passageway at base of principal staircase, moulded with shell decorated keystone. A number of heavy panelled doors survive, also 2 ceilings with plastered cornices, one reeded with roundels, other with oak leaf and acorn decoration. Cellars have brick floors.

- 2.4 The area more widely has an extensive number of listed buildings as shown in yellow on Fig: 4.

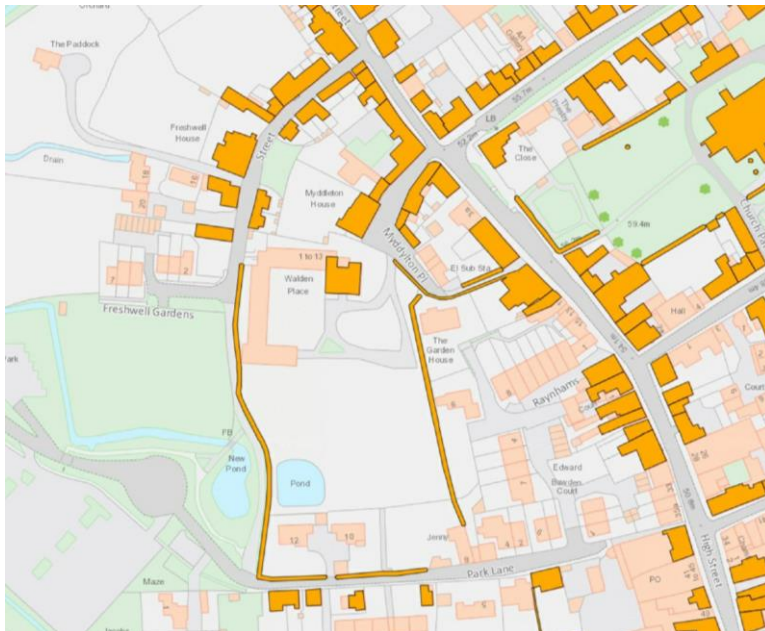


Fig: 4 Listed Buildings in the immediate area (highlighted in yellow)

- 2.5 There are a number of trees in and around the site which are protected by either the conservation area or their proximity to the setting of the listed building, see Fig; 5.



Fig: 5 – Existing site layout with trees and landscaping shown



Fig: 6a – Photograph of Walden Place looking north.



Fig 6b – This shows the relationship of Walden place and the ground level difference

- 2.5 The site plan above, Fig: 5, shows some of the existing 1980's extension, which appears to follow the proportions of the old gardens of Walden Place. There is also a single storey link to the rear of Walden Place. It is worth noting that the modern 1980's extensions sit at a lower ground level than Walden Place which helps reduce the impact of the existing structures in relation to the listed building.

3. PROPOSAL

- 3.1 Part demolition of existing extensions to sheltered scheme from listed building, including alterations to access, listed wall, existing parking and driveways. Addition of new boundary wall, railings, fire escape stairs, landscaping works and temporary repair works to listed building associated with the demolition of rear extension.

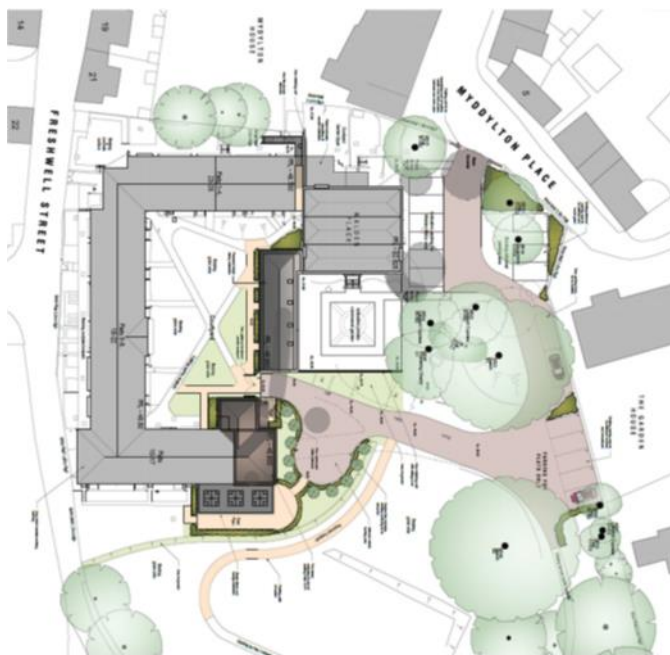


Fig: 7 – illustrates the construction of the two new extensions.

- 3.2 A new wall will also be constructed on the eastern side of the extension to create a new boundary to Walden Place. Where the existing link to Walden House is removed, a new boundary wall will be constructed together with a new fire escape staircase for emergency use.
- 3.3 The scheme also seeks to define areas of amenity space and parking for Walden House to compliment future conversion. The conversion works will however be left to the future purchaser and this does not fall part of the planning application as such.
- 3.4 To the rear of Walden House (North side) the existing lean-to extension will be removed, and remedial works carried out to paving and retaining walls sufficient to secure the building and make weather tight.
- 3.5 To the south of Walden Place a new enclosed formal garden is proposed. The western boundary would be formed with a new brick wall above the abutting extension. The southern and eastern boundaries would be formed with new railings and retaining wall. It is envisaged that the space could be laid out as a formal garden with gravelled paths, clipped hedges and trees providing a shared amenity space for residential use. These proposals only include works to form the boundaries, the detailed scheme is left to a future purchaser of Walden House, Fig: 8 illustrates the proposals for the future of Walden House.

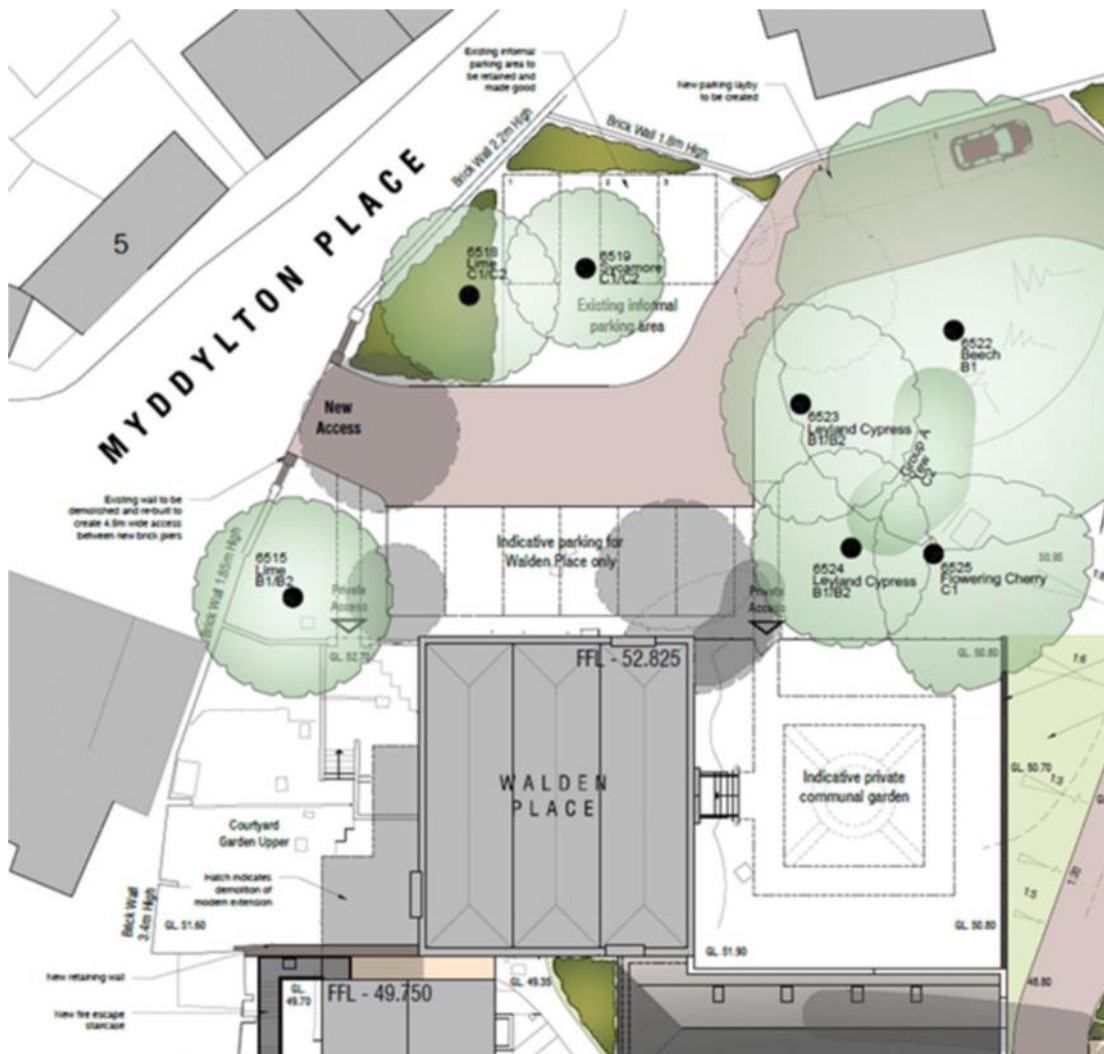


Fig: 8 – Illustrative scheme for the future of Walden House

- 3.6 The existing communal entrance to Walden Place is hidden behind the rear of the building, accessed through a gateway in the boundary wall. It is therefore not immediately obvious to visitors. The courtyard is also open which makes it possible to access the scheme via the adjacent public open space. Whilst there are security locks in place, the current layout is not optimum for crime prevention. The proposals seek to address this by closing off the semi-public through-route, behind Walden Place and moving the entrance to a more visible location at the south of the building, providing greater opportunity for natural surveillance.
- 3.7 The existing vehicular access is via Myddylton Place on the northern walled boundary. The existing opening through the boundary wall is a little narrow and off centre which makes access for larger vehicles difficult. It is therefore proposed to move the opening slightly to the west and widen it. This will assist the construction works but also future maintenance and potentially fire appliance access. The area of wall affected has previously been rebuilt and therefore the works would not involve the loss of historic fabric in this respect. The informal parking area to the east will be rationalised in association with moving the access.
- 3.8 The proposals include alterations to the driveway and parking to the east and south of Walden Place. Providing a drop off zone and turning area to the new communal entrance. The line of the proposed surfacing follows the existing driveway causing no significant loss of green space or impact to existing trees. An existing Yew tree that is growing against the building will be removed as part of these works.
- 3.9 There is an existing footpath running through the site that is open to the public, linking Park Lane to the High Street via Myddylton Place. This appears well used and clearly has public amenity value. The proposals include a slight re-alignment of the footpaths route to move it away from the proposed extension.
- 3.10 It should be noted that whilst the planning submission highlights the likely uses for Walden House and possible ways of subdividing the building for future use when it is sold off it does not form part of this planning application. Nonetheless, an additional 6 car parking spaces have been created in addition to cater for any future use of the main house.

4. ENVIRONMENTAL IMPACT ASSESSMENT

- 4.1 Town and Country Planning (Environmental Assessment):
The proposal is not a Schedule 1 development, nor does it exceed the threshold criteria of Schedule 2, and therefore an Environmental Assessment is not required.

And

Human Rights Act considerations:

There may be implications under Article 1 and Article 8 of the First Protocol regarding the right of respect for a person's private and family life and home, and to the peaceful enjoyment of possessions; however, these issues have been taken into account in the determination of this application.

5. APPLICANT'S CASE

- 5.1 The proposed development under the Full planning application would allow the creation of two additional sheltered flats plus provide a new Resident's Communal

Lounge plus a new plant room, Manager's office, and lift. The development is required in order to allow the conversion of Walden House into private flats. Walden House requires a significant work and up keep which has become unviable and a drain on the public purse. In order to overcome this and for the long term benefit of the preservation of the listed building its conversion to allow it to be later sold would enable this and to build the accommodation required to compensate for the loss of the conversion of the main house.

The extensions proposed will sit lower than Walden House due to ground level differences which also ensures that the setting of this Grade II listed Building is not detracted from.

“Walden House is currently in reasonable repair but is starting to need refurbishment to preserve the long-term integrity of the structure. There have been several unsympathetic interventions over the recent history of the building, the most obvious being the conversion to a sheltered housing scheme and addition of the 1980s extension. Clearly this cannot be completely reversed as it provides valuable housing for elderly residents in the community. The cost of refurbishment works will need to be substantial to ensure that the work is carried out in a sympathetic and correct way, therefore a new use is required that can support these costs.

It is clear, the best option for Walden House, with exception of demolishing the extension and reverting it back to a single dwelling which can probably be discounted due to practicality, the listed house should be separated from the sheltered scheme. This must be achieved with minimal loss of dwellings to retain the viability of the sheltered scheme. It is therefore necessary to replace some of the lost accommodation.

These proposals have been pared back to the absolute minimum to replace two of the three existing flats plus the communal accommodation whilst also providing better access for residents. Whilst there is a small encroachment into an important protected open space, the extent of this only extends to an area that is already under tarmac.

The scale of the proposals is subordinate to the listed building and set outside of existing sight lines of the building. The setting of the listed building is therefore preserved. The appearance of the extension is deliberately understated and reflects the character of the modern sheltered scheme. It is felt that this is an appropriate response to the site and avoids the introduction of a third, potentially competing element into the historic setting.

In this context it is felt the proposed extensions will have only a slight impact on Walden House, but this can be mitigated and offset by facilitating further development and refurbishment.

The proposals will involve sufficient works to separate the listed house from the sheltered scheme, including the demolition of the lean-to link, erection on new boundaries treatments to create a private garden, and the laying out of new parking. The remaining conversion works will be left to a future purchaser.”

6. RELEVANT SITE HISTORY

6.1 The below are various application relating to the main house;

- LB/UTT/0785/77/CA – Demolition of outbuildings to the north of Walden Place
- LB/UTT/1016/80/CA - Increase overall width of approved footpath entrance gateway into Freshwell Street from 4'0" to 6'0" including partial demolition of listed wall
- UTT/0092/77/LB/CA - Conversion of existing house and erection of new buildings to form elderly persons complex
- UTT/0490/92 - Detailed application for the construction of a bandstand
- UTT/1062/97/LB - Installation of three wall- mounted floodlights to illuminate car park and provision of replacement light

6.2 The main relevant history is the parallel Full planning application for “Proposed Single Storey & Two Storey Extensions, Erection of New Boundary Wall & Railings, Alterations to Existing Access and Parking, Part Demolition of 1980s Extension to Remove Link to Sheltered Housing Scheme, Including Associated Repairs and Landscape Works”

7. POLICIES

Uttlesford Local Plan (2005)

- ENV2 Development Affecting Listed Buildings

National Policies

- National Planning Policy Framework

8. SAFFRON WALDEN TOWN COUNCIL COMMENTS

8.1 No Objection.

9. CONSULTATIONS

9.1 Place Services Conservation

Built Heritage Advice pertaining to an application for the part demolition of existing extensions to sheltered scheme from listed building, including alterations to access, listed wall, existing parking and driveways. Addition of new boundary wall, railings, fire escape stairs, landscaping works and temporary repair works to listed building associated with the demolition of rear extension.

The building affected by this application, Walden Place, is Grade II listed. It is a large mid-eighteenth-century house with later alterations and additions (list entry number: 1196232). Walden Place is enclosed by walls such as the Wall to the east side of the Garden of Walden Place (list entry number: 1025113) and Garden Wall to number five, also to the east, which are Grade II listed (list entry number: 1280442). The western wall is also Grade II listed, Garden Wall of Walden Place (list entry number: 1196172). The application site is located within the Saffron Walden Conservation Area and within the vicinity of several listed buildings.

There is no objection to the demolition and removal of the 1980s extension to Walden Place, and there is no in principle objection to the single storey extension adjacent to the listed building. The form of the proposed single storey extension and its low ridge height is considered acceptable. However, the abutment of the single storey extension to the listed building appears unnecessary and the inclusion of four rooflights upon the north facing roof slope of the extension should

be located facing towards the courtyard, so that a blank roof slope is facing the listed building. I consider there to be a more sympathetic approach with regards to the location of the proposed building, which does not abut the listed building.

With regards to the two-storey extension to the existing flats, I do not consider the proposals to preserve the setting of the listed building. The existing building allows views of the listed building from within the adjacent open verdant space, particularly from the south west. The proposed two-storey extension would adversely impact this, thus detracting from the experience and appreciation of the listed building. Furthermore, I consider the quantity of glazing to be excessive, in particular the prominent roof lanterns are considered incongruous. The proposed fails, in my opinion, to make a positive contribution to local character and distinctiveness as per Paragraph 192.c of the NPPF (2019).

I have no objection to the creation of a private garden, the creation of a new boundary wall and railings subject to details being confirmed. Were this application to be approved, I recommend a full hard and soft landscaping scheme is submitted prior to implementation.

I am unable to support this application. The proposals would, in my opinion, fail to preserve the special interest of the listed building, contrary to Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, through inappropriate development in its setting. With regards to the NPPF (2019), the level of harm is considered less than substantial, Paragraph 196 being relevant.

9.3 **ECC ARCHAEOLOGICAL**

No objection subject to conditions.

9.4 **PLACE SERVICES ECOLOGY**

No objection subject to securing biodiversity mitigation and enhancement measures

We have reviewed the Preliminary Ecological Appraisal (Applied Ecology, November 2020), Magic Maps (<https://magic.defra.gov.uk>) and aerial photographs relating to the likely impacts of development on designated sites, protected and Priority species and habitats. We have also reviewed the newly submitted Bat Activity Survey (Applied Ecology Ltd, August 2021).

The Bat Activity Survey (Applied Ecology Ltd, August 2021) advises the proposal to extend and renovate the care home is considered highly unlikely to result in the disturbance and loss of bat roosts and can be completed without restriction in relation to bats. The bat activity survey findings remain valid for 12 months from the date of the survey (29 June 2021).

A pair of swifts were confirmed to be nesting in the apex of the east facing clock tower gable during the survey, with the adult birds leaving and returning to the nest on a couple of occasions during the survey and calls being heard from the nest. Therefore, the Bat Activity Survey (Applied Ecology Ltd, August 2021) has recommended that six swift nest bricks and/or boxes are provided as a biodiversity enhancement measure given the confirmed presence of this species within the Site and the opportunity the new build provides to cater for this species. We support this recommendation which will provide new habitat for this declining species.

We are satisfied that there is sufficient ecological information available for determination.

This provides certainty for the LPA of the likely impacts on protected and Priority species & habitats and, with appropriate mitigation measures secured, the development can be made acceptable.

In addition, a Wildlife Sensitive Lighting Strategy should be delivered for this scheme to avoid impacts to foraging and commuting bats. This must follow the Guidance Note 8 Bats and artificial lighting (The Institute of Lighting Professionals & Bat Conservation Trust, 2018). In summary, it is highlighted that the following measures should be implemented for the lighting design, which could be informed by a professional ecologist:

- Light levels should be as low as possible as required to fulfil the lighting need.
- Warm-White lights should be used preferably at 2700k. This is necessary as lighting which emit an ultraviolet component or that have a blue spectral content have a high attraction effects on insects. This may lead in a reduction in prey availability for some light sensitive bat species.
- If Light columns are required, they should be as short as possible as light at a low level reduces the likelihood of any ecological impact. However, the use of cowls, hoods, reflector skirts or shields could also be used to prevent horizontal spill.
- Movement sensors and timers could be used to minimise the 'lit time'.

We also support the proposed reasonable biodiversity enhancements, which have been recommended to secure measurable net gains for biodiversity, as outlined under Paragraph 174 [d] of the National Planning Policy Framework 2021. This includes six swift nest bricks and/or boxes. The reasonable biodiversity enhancement measures should be outlined within a Biodiversity Enhancement Strategy and should be secured.

This will enable LPA to demonstrate its compliance with its statutory duties including its biodiversity duty under s40 NERC Act 2006.

Impacts will be minimised such that the proposal is acceptable subject to the conditions below based on BS42020:2013.

Submission for approval and implementation of the details below should be a condition of any planning consent.

Recommended conditions:

1. ACTION REQUIRED IN ACCORDANCE WITH ECOLOGICAL APPRAISAL RECOMMENDATIONS

“All mitigation and enhancement measures and/or works shall be carried out in accordance with the details contained in the Preliminary Ecological Appraisal (Applied Ecology, November 2020) and the Bat Activity Survey (Applied Ecology Ltd, August 2021) as already submitted with the planning application and agreed in principle with the local planning authority prior to determination.”

Reason: To conserve and enhance protected and Priority species and allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species).

2. PRIOR TO SLAB LEVEL: BIODIVERSITY ENHANCEMENT STRATEGY

“A Biodiversity Enhancement Strategy shall be submitted to and approved in writing by the local planning authority following the recommendations made within the Bat Activity Survey (Applied Ecology Ltd, August 2021).

The content of the Biodiversity Enhancement Strategy shall include the following:

- a) Purpose and conservation objectives for the proposed enhancement measures;*
- b) detailed designs to achieve stated objectives;*
- c) locations of proposed enhancement measures by appropriate maps and plans;*
- d) persons responsible for implementing the enhancement measures;*
- e) details of initial aftercare and long-term maintenance.*

The works shall be implemented in accordance with the approved details and shall be retained in that manner thereafter.”

Reason: To enhance Protected and Priority Species/habitats and allow the LPA to discharge its duties under the s40 of the NERC Act 2006 (Priority habitats & species).

3. PRIOR TO BENEFICIARY USE: WILDLIFE SENSITIVE LIGHTING DESIGN SCHEME

“A lighting design scheme for biodiversity shall be submitted to and approved in writing by the local planning authority. The scheme shall identify those features on site that are particularly sensitive for bats and that are likely to cause disturbance along important routes used for foraging; and show how and where external lighting will be installed so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bats using their territory.

All external lighting shall be installed in accordance with the specifications and locations set out in the scheme and maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority.”

Reason: To allow the LPA to discharge its duties under the Conservation of Habitats and Species Regulations 2017 (as amended), the Wildlife & Countryside Act 1981 as amended and s40 of the NERC Act 2006 (Priority habitats & species)

10. REPRESENTATIONS

10.1 Neighbouring residential occupiers have also been consulted of the application. As a result the following points have been raised:

- Health and safety damage to Myddylton Place
- Consultation of Myddylton Place residents of plans
- Disturbance during construction and blockage of footpaths and road
- pollution
- Highway safety
- No information of conversion of Walden Place
- On street parking
- Impact on other historic buildings in area
- Walden Place is on Myddylton Place not Freshwell Street
- Construction Method Statement must be submitted
- Trees should be protected during construction
- Access has a pinch point
- flooding
- Construction traffic should be parked within Walden Place grounds only

The above points have been addressed under the full planning application.

11. APPRAISAL

The issues to consider in the determination of the application are:

A Development affecting a Listed Building (ENV2, NPPF)

11.1 Local Plan Policy ENV2 for Listed Buildings states the following;

“Development affecting a listed building should be in keeping with its scale, character and surroundings. Demolition of a listed building, or development proposals that adversely affect the setting, and alterations that impair the special characteristics of a listed building will not be permitted. In cases where planning permission might not normally be granted for the conversion of listed buildings to alternative uses, favourable consideration may be accorded to schemes which incorporate works that represent the most practical way of preserving the building and its architectural and historic characteristics and its setting”

11.2 Paragraph 190 of the NPPF states *“Plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account:*

a) the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;

b) the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;

c) the desirability of new development making a positive contribution to local character and distinctiveness; and

d) opportunities to draw on the contribution made by the historic environment to the character of a place.”

11.3 S16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that *“In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”*.

11.4 S70(2) of the Town and Country Planning Act 1990 requires the local planning authority, in dealing with a planning application, to have regard to:
(a) the provisions of the development plan, so far as material to the application,
(aza) a post-examination draft neighbourhood development plan, so far as material to the application,
(b) any local finance considerations, so far as material to the application, and
(c) any other material considerations.

11.5 S38(6) of the Planning and Compulsory Purchase Act 2004 requires that, if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.

- 11.6 Conservation have been consulted of the Listed Building application as well as the parallel full application.
- 11.7 Walden Place is Grade II listed as defined above. The immediate works proposed to the listed building are *“Part demolition of existing extensions to sheltered scheme from listed building, including alterations to access, listed wall, existing parking and driveways. Addition of new boundary wall, railings, fire escape stairs, landscaping works and temporary repair works to listed building associated with the demolition of rear extension.”*
- 11.8 The Conservation Officer have stated *“There is no objection to the demolition and removal of the 1980s extension to Walden Place, and there is no in principle objection to the single storey extension adjacent to the listed building. The form of the proposed single storey extension and its low ridge height is considered acceptable. However, the abutment of the single storey extension to the listed building appears unnecessary and the inclusion of four rooflights upon the north facing roof slope of the extension should be located facing towards the courtyard, so that a blank roof slope is facing the listed building.”* Conservation had also stated that *“I have no objection to the creation of a private garden, the creation of a new boundary wall and railings subject to details being confirmed. Were this application to be approved, I recommend a full hard and soft landscaping scheme is submitted prior to implementation.”*
- 11.9 The Design and Access Statement highlighted the effects of the proposed development upon the setting of the listed Walden House. It supports the above assessment of the scheme it also states that *“The alterations to the drive and enclosure with wall and railings will create a slightly harder edge and loss of openness. These works are however contained within the area already under paving and provides the opportunity to remove some unsightly steps and handrail. Walden Place will also require some defensible space around it, as part of any future successful conversion.”* The D & A goes on to state that *“There will be a small number of trees removed adjacent to the building such as the yew tree growing directly against the building. This is necessary to prevent damage to the building and will benefit the retained trees...The creation of a new boundary wall between the 1980s extension and the listed building will help create separation and enclosure generating a less cluttered view than existing. This could be further enhanced with landscaping...The separation of Walden Place from the sheltered scheme, clearly provides an opportunity to reverse some of the negative interventions that have occurred in the past, and to provide a viable new use that will facilitate sympathetic repair and refurbishment and a secure future.”*
- 11.10 The Conservation Officers objections relate to the proposed new additional which do not form part of the Listed Building application. Those objections have been dealt with separately as part of the Full planning application assessment.
- 11.11 There is no objection to the proposed demolition as it is considered the removal of the 1980s modern additions are to the benefit of the Listed Building reversing existing unsympathetic elements. With the lack of objections to the proposed works to the main listed building the perceived impact resulting from the proposed extension has been assessed as part of the full application and have been concluded would be minimal and the overall harm would be outweighed by the public benefit in accordance with Paragraph 202 of the NPPF which states *“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against*

the public benefits of the proposal including, where appropriate, securing its optimum viable use.” The proposed development under the planning application are overall and on balance considered to accord with Paragraph 208 of the NPPF which states “Local planning authorities should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from the policies.”

- 11.12 It is therefore concluded that the proposal accords with policy ENV2 of the Uttlesford Local Plan 2005 and paragraphs 190, 202 and 208 of the NPPF in relation to the protection of the heritage asset. In coming to this view, regard has been had to the Council's statutory duty under s16(2) & s66 (1) of the Planning (Listed Buildings & Conservation Areas) Act 1990.

12. CONCLUSION

The following is a summary of the main reasons for the recommendation:

- A** In consideration of the proposed works to the listed building in order to secure the longer viability and maintenance of heritage in terms of public benefit this is considered to outweigh the harm that would be caused in accordance with the NPPF thereby also in accordance with Policy ENV2.

RECOMMENDATION – APPROVAL WITH CONDITIONS

Conditions

1. The development to which this consent relates shall be begun before the expiration of 3 years from the date of this decision.

REASON: To comply with the requirements of Section 18 of the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Details of all necessary repairs in addition to the approved plans shall be submitted to and approved in writing by the local planning authority. Thereafter, the repairs shall be carried out in accordance with the approved details and shall be maintained as such in perpetuity. Any amendments in the future shall be submitted to and approved in writing by the local planning authority.

REASON: To protect and enhance the fabric and character of the listed building, in accordance with the adopted Uttlesford Local Plan Policy ENV2, s16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990, and the National Planning Policy Framework (2021).